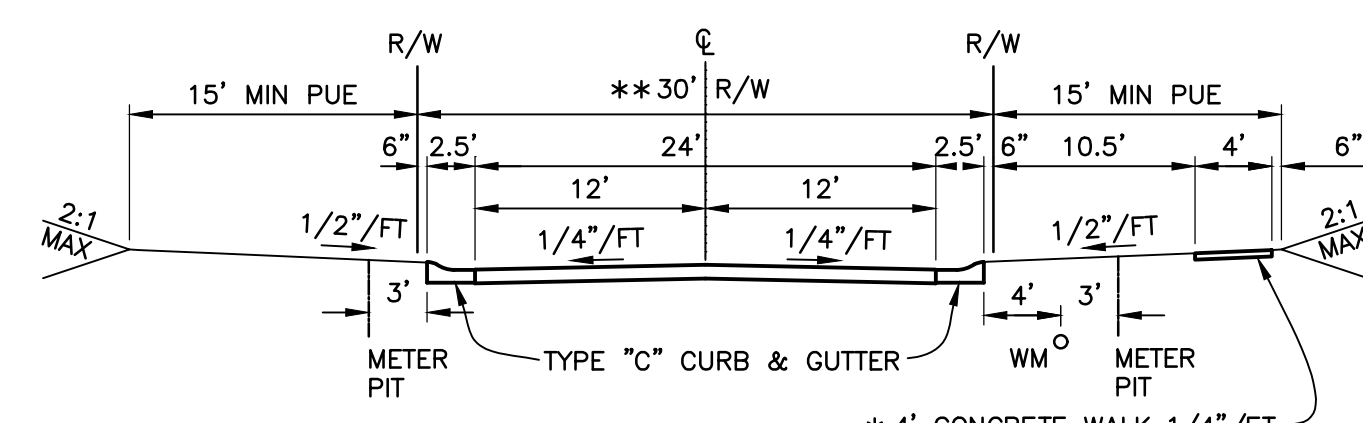


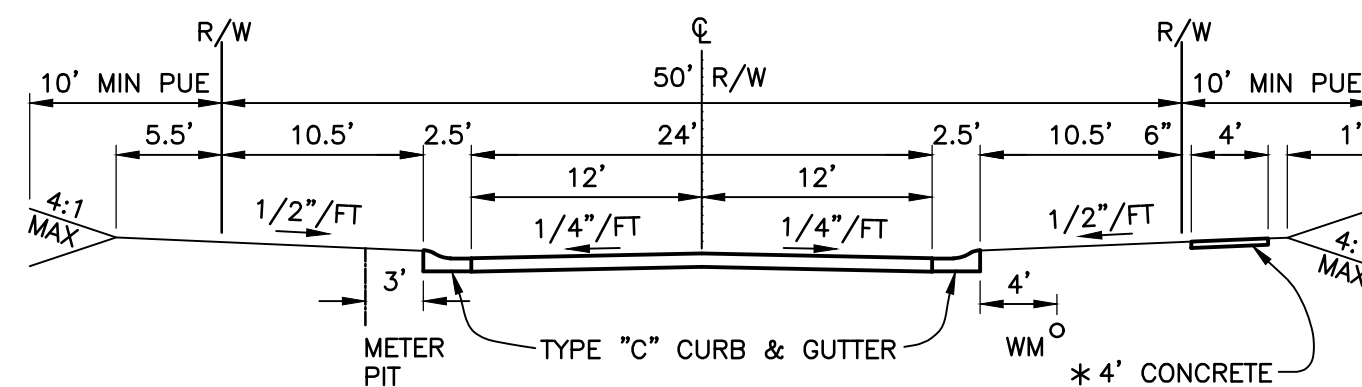
**NOTES**

- BOUNDARY COURSES SHOWN HEREON HAVE BEEN ROTATED TO WARREN COUNTY GIS BEARING SYSTEM AND IS BASED UPON S.R. VOLUME 82, PLAT No. 24.
- TOPOGRAPHIC INFORMATION FROM WARREN COUNTY GIS FILES. BENCHMARK: WARREN COUNTY GIS - GPS CONTROL NETWORK - MONUMENT #75 - ELEVATION 798.949.
- ZONING: SITE - R-SF, RESIDENTIAL SINGLE FAMILY DISTRICT.
- LOTS WILL CONTAIN SINGLE-FAMILY, DETACHED RESIDENCES.
- MINIMUM BUILDING OPENING ELEVATIONS SHALL BE IN COMPLIANCE WITH WARREN COUNTY ENGINEER REQUIREMENTS.
- POSTAL COLLECTION AND DELIVERY TO BE IN COMPLIANCE WITH WARREN COUNTY SUBDIVISION REGULATIONS AND TO SHARE THE CLUSTER MAILBOX LOCATION IN LOSH LANDING NEAR IRWIN - SIMPSON ROAD.
- SNOW AND ICE CONTROL FOR UNACCEPTED STREETS TO BE IN COMPLIANCE WITH WARREN COUNTY SUBDIVISION REGULATIONS.
- STREET LIGHTING TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WARREN COUNTY SUBDIVISION REGULATIONS. A STREET LIGHTING DISTRICT WILL BE ESTABLISHED FOR THE PROJECT.
- THE COVE AT LOSH LANDING WILL BE INCLUDED IN THE ESTABLISHED HOA FOR THE LOSH LANDING NORTH SUBDIVISION.
- FINAL PLANS SHALL BE IN COMPLIANCE WITH THE WARREN COUNTY SOIL AND WATER CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL REQUIREMENTS.
- PROPOSED COVENANTS AND RESTRICTIONS HAVE NOT BEEN DETERMINED.
- WATER SUPPLY TO BE WARREN COUNTY. WASTEWATER DISPOSAL TO BE WARREN COUNTY SEWER SYSTEM.
- THE DEVELOPMENT SCHEDULE FOR THE SUBDIVISION: CONSTRUCTION IS ANTICIPATED TO BEGIN IN 2025. ACTUAL START OF CONSTRUCTION SUBJECT TO MARKET INFLUENCE.
- ALL OFF ROAD UTILITIES OR STORM SEWERS TO BE LOCATED IN MINIMUM 20' WIDE EASEMENT UNLESS OTHERWISE APPROVED BY WARREN COUNTY ENGINEER AT TIME OF DESIGN.
- TYPICAL STREET R/W IS 30' OR 50' WITH 55' RADIUS CUL-DE-SACS. R/W WIDTH IS IDENTIFIED ON THE TYPICAL SECTION.
- THE SITE IS ANTICIPATED TO SHARE THE STORMWATER MANAGEMENT WITH POND 1 OR 2.
- THERE ARE NO KNOWN FLOOD PRONE AREAS WITHIN THE SITE BOUNDARIES.
- COTTELL PARK (DEERFIELD TOWNSHIP PARK) IS LOCATED AT THE SOUTHEAST CORNER OF IRWIN SIMPSON AND SNIDER ROADS, LESS THAN A MILE FROM THE PROJECT.
- THE PROPERTY IS WITHIN THE MASON SCHOOL DISTRICT
- DEERFIELD TOWNSHIP FIRE STATION IS LOCATED ON SNIDER ROAD, NORTH OF IRWIN SIMPSON ROAD. JUST 1.5 MILES FROM THE SUBJECT SITE.
- STORMWATER MANAGEMENT MAY UTILIZE POND 1 OR POND 2 OR SUPPLEMENT AS NECESSARY DURING DESIGN.
- A SMALL WETLANDS, STREAM AREA AND PART OF POND 1 IS BEING IMPACTED BY THE CHARLESTON VALLEY DRIVE AREA CONSTRUCTION. USACE PERMIT APPLICATION DOCUMENT (PCN) HAS BEEN SUBMITTED.



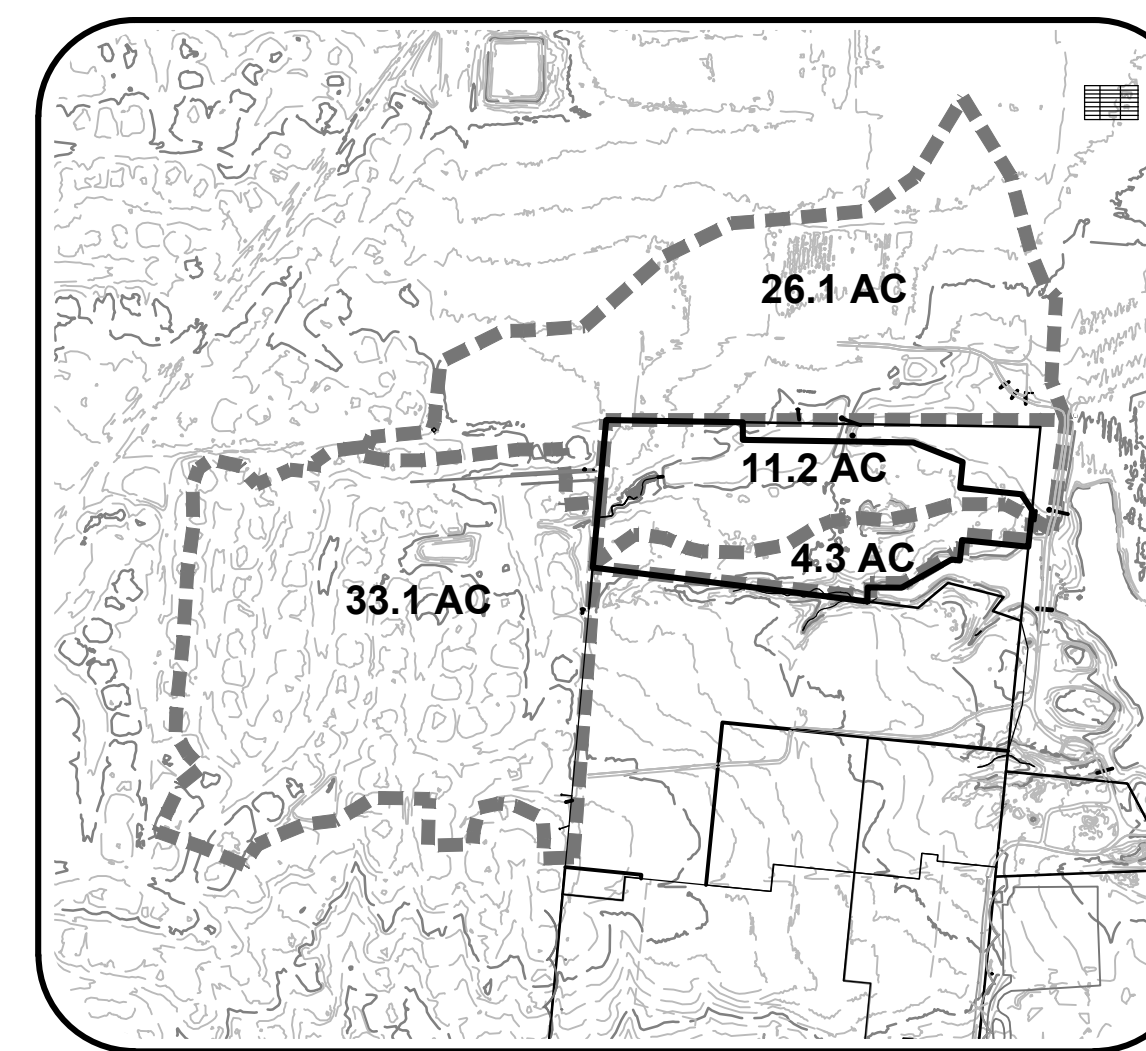
**TYPICAL SECTION - LOCAL SUBDIVISION STREET  
CHARLESTON VALLEY DRIVE  
(CURB & GUTTER)**  
NOT TO SCALE

\* SIDEWALK TO BE LOCATED ON ONE SIDE OF THE STREET IF GROSS DENSITY IS BETWEEN 1 & 1.99 UNITS/ACRE OR TWO SIDES IF 2 UNITS/ACRE OR GREATER.  
\* MATCH 55' RADIUS CUL-DE-SAC BALL

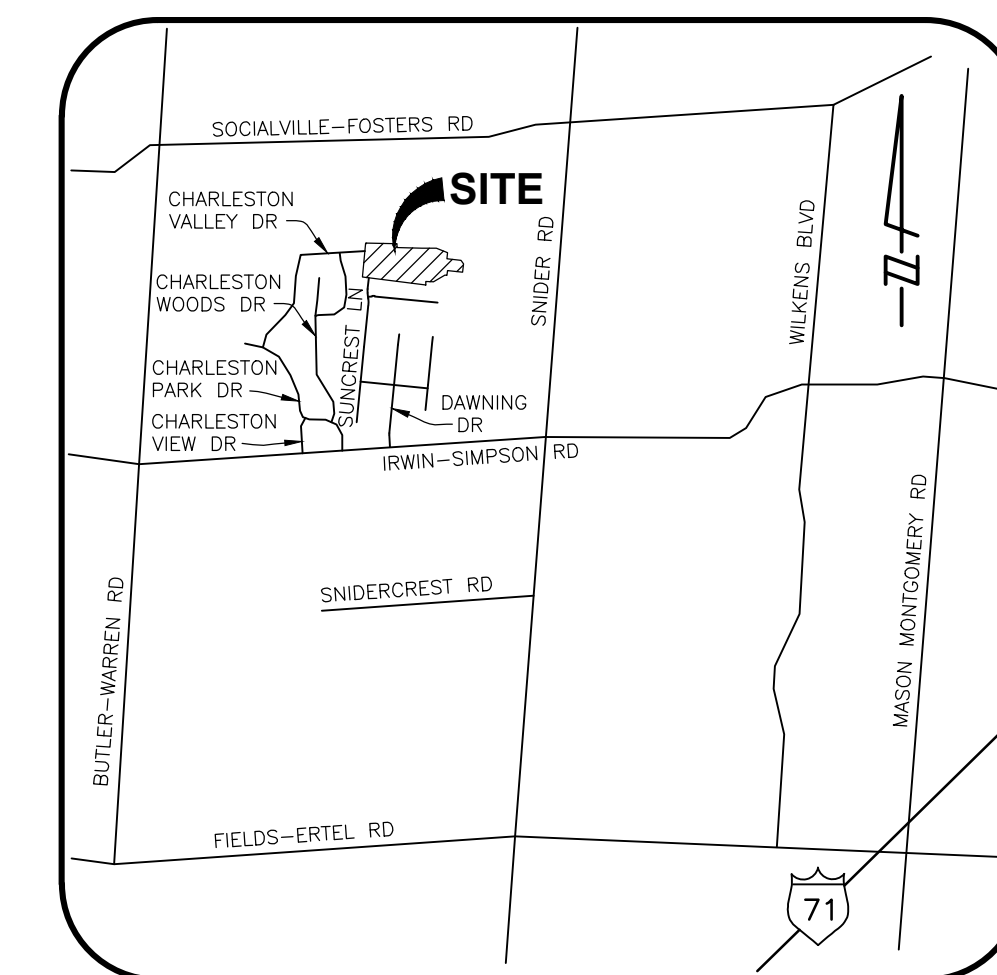


**TYPICAL SECTION - LOCAL SUBDIVISION STREET  
SUNCREST LANE  
(CURB & GUTTER)**  
NOT TO SCALE

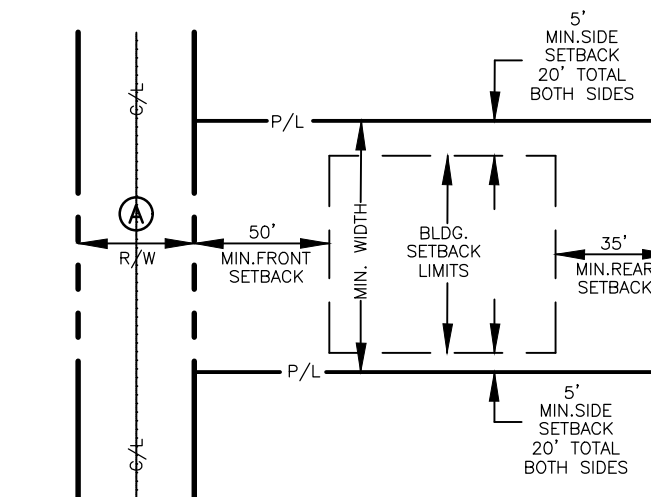
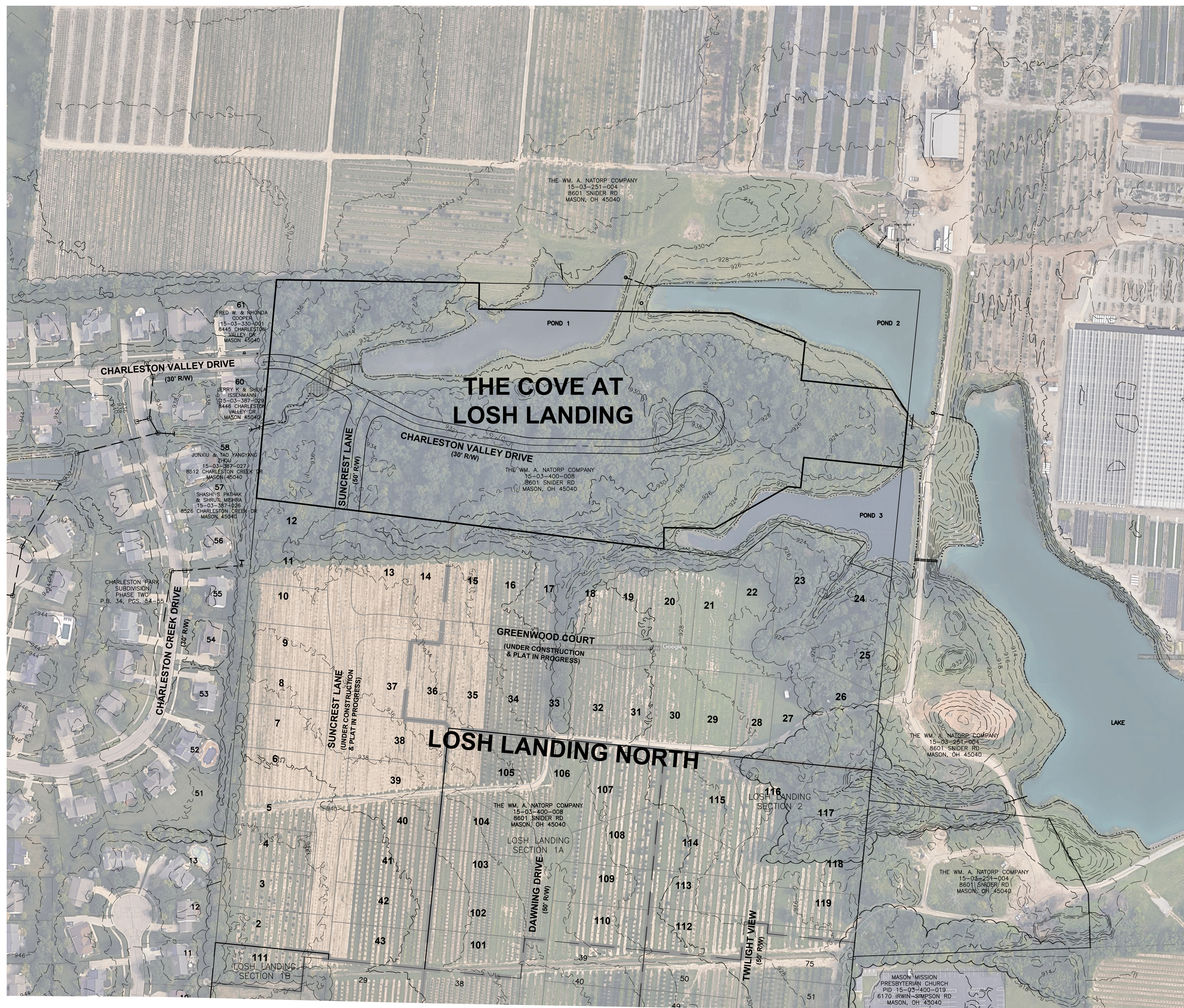
\* SIDEWALK TO BE ON ONE SIDE OF STREET ONLY AND ARE TO CONNECT TO THE LOCATION IDENTIFIED ON THE LOSH LANDING NORTH SUBDIVISION PRELIMINARY PLAN.



**DRAINAGE AREA MAP**  
1"=600'



**VICINITY MAP**  
NOT TO SCALE



**TYPICAL LOT DEVELOPMENT REQUIREMENTS**  
A 30' CHARLESTON VALLEY DRIVE  
50' SUNCREST LANE

**PROPERTY ADDRESS**

IRWIN-SIMPSON ROAD  
MASON, OHIO 45040

**OWNER**

THE WM. A. NATORP COMPANY  
8601 SNIDER ROAD  
MASON, OHIO 45040  
(513) 502-4319

**APPLICANT / DEVELOPER**

ERBECK DEVELOPMENT CO, LTD  
3333 MADISON PIKE  
FT. WRIGHT, KY 41017  
(859) 250-8285

**PROJECT SUMMARY**

MINIMUM LOT WIDTH	80'
MINIMUM LOT SIZE	14,000 sf
# OF LOTS	25-26
MINIMUM FRONT YDS	50'
MINIMUM SIDE YDS (ONE/TOTAL)	5'/20'
MINIMUM REAR YDS	35'

**AREA SUMMARY**

TOTAL AREA	11-15 AC
TOTAL LOTS	25-26
DENSITY	1.7-2.3 UN/AC

THE EXTERIOR BOUNDARY WILL BE ADJUSTED AS LOTS ARE DEFINED AS PART OF THE PRELIMINARY PLAT.

**THE COVE AT  
LOSH LANDING  
CONCEPT PLAN**

SITUATED IN  
SECTION 3, TOWN 3, RANGE 2, B.T.M.  
DEERFIELD TOWNSHIP  
WARREN COUNTY, OHIO

PREPARED BY

Evans  
CivilPro  
Engineers, LLC  
Consulting Engineers & Surveyors  
4700 Duke Drive, Suite 100  
Mason, Ohio 45040  
(513) 398-1728

DATE: 8/28/2024

JOB NO: EKP003  
DRAWN BY: BKG

